

**Department of Planning Services
Development Plan and Plat Application**

Project Name Columbia Street West - Renovation and New Construction

Applicant
Applicant Model Group
Address 1826 Race Street
City Cincinnati State OH Zip 45202
Telephone 513-559-5896 E-mail jchamlee@modelgroup.net

Contact Person
Contact Person Diane Reynolds (Engineering Resources)
Address 4175 New Vision Drive
City Fort Wayne State IN Zip 46845
Telephone 260-415-8219 E-mail diane@eri.consulting

All staff correspondence will be sent only to the designated contact person.

Arch./Eng. Or Surveyor
Arch./Eng./Surveyor Mark Reinhard (Engineering Resources)
Address 4175 New Vision Drive
City Fort Wayne State IN Zip 46845
Telephone 260-451-9740 E-mail mark@eri.consulting

Request
 Allen County Planning Jurisdiction City of Fort Wayne Planning Jurisdiction
Requesting approval of a: primary amended primary secondary amended secondary
 residential development plan commercial development plan industrial development plan
 plat minor plat
Development Address 617 S Harrison Street
Size of development (lots) portion of 3 (units) _____ (acreage) 0.2 acres
Building height (primary structures) 42"-8" (accessory structures) _____
Building Sq. Ft. (primary structures) 7,940 (accessory structures) _____
Present Zoning DC Total acreage of site 0.2 acres
Township name Wayne Township section # 0002
Sewer provider City of Fort Wayne Water provider City of Fort Wayne
Proposed Streets: Public and county/city maintained Private and privately maintained

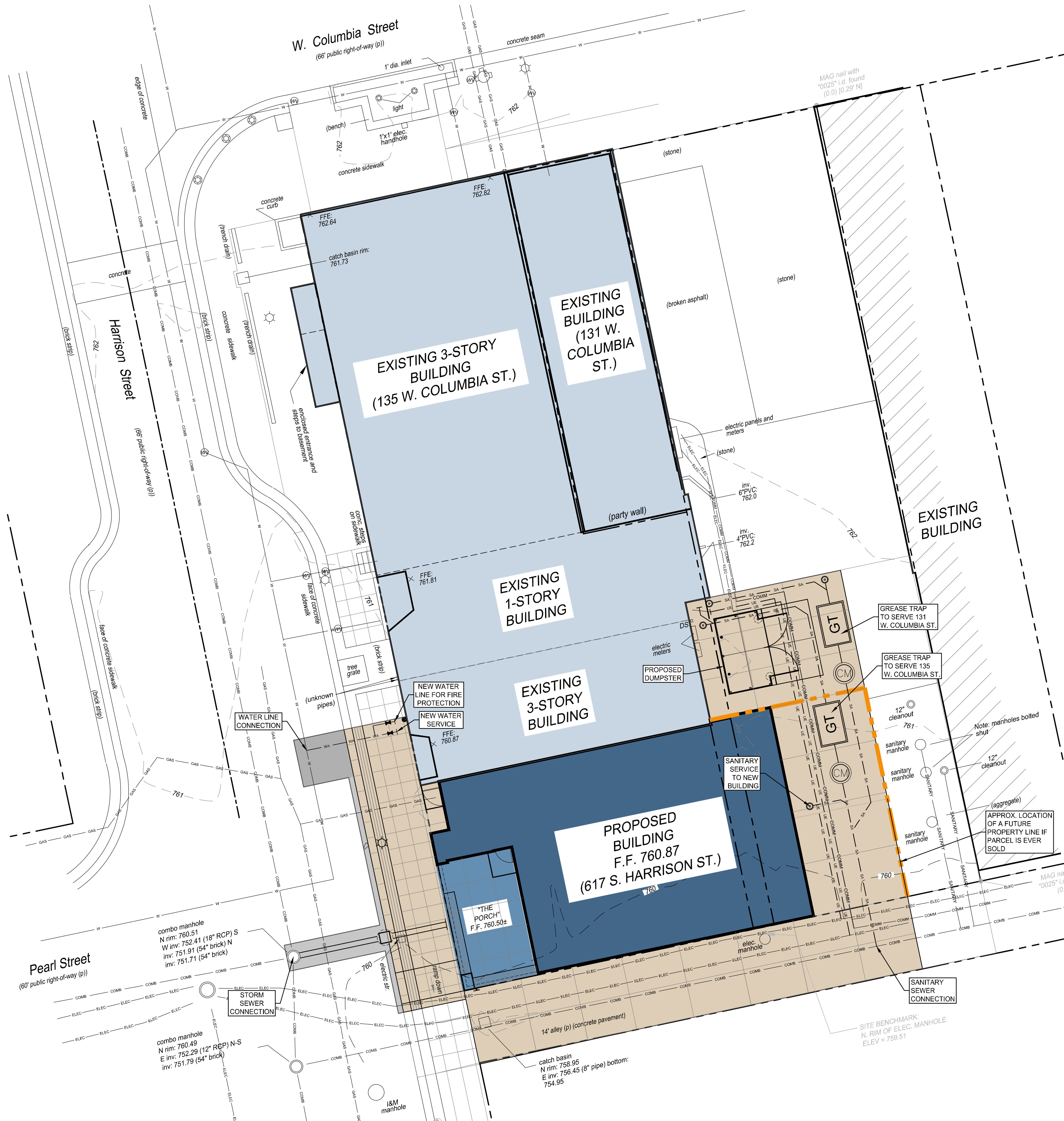
Filing Requirements
Applications will not be accepted unless the following filing requirements are submitted with this application. For applicable filing fees and site plan/plat number of copies please refer to checklist.
 Applicable filing fees (check payable to the Allen County Treasurer)
 Applicable number of copies of site plan or plat (plans must be folded, and no larger than 24 x 36)
 Applicable number of landscaping plans
 Applicable required civil engineering sets
 One copy of plan in electronic form (11 x 17 in PDF)
 Applicable number of copies of the Certified Legal Description and Boundary Survey
 Application signed by property owner(s)
 Waiver request application (if applicable)
 Proposed restrictive covenants (if applicable)

I/We understand and agree, upon execution and submission of this application, that I/we agree to abide by all provisions of the Allen County Zoning and Subdivision Control Ordinance as well as all procedures and policies of the Allen County Plan Commission as those provisions, procedures and policies related to the handling and disposition of this application; that the above information is true and accurate to the best of my/our knowledge; and that I/we agree to pay Allen County the cost of notifying the required interested persons at the rate of \$0.85 per notice and a public notice fee of \$50.00 per Indiana code.

Jason Chamlee (printed name of applicant) [Signature] (signature of applicant) 5/27/21 (date)
Jason Chamlee (printed name of property owner) [Signature] (signature of property owner) 5/27/21 (date)

Received	Receipt No.	Hearing Date	Petition No.
<u>6/1/21</u>	<u>131799</u>	<u>7/12/21</u>	<u>PDP-2021-0021</u>

June 1, 2021, 10:29 AM
 S:\Projects\Projects (5000-5999)\Projects (5200-5249)\Columbia Street West Bldg\Drawings\Plans\5249 - PD1.0 Primary Development Plan.dwg



PRIMARY DEVELOPMENT PLAN
 SCALE: 1" = 10'-0"

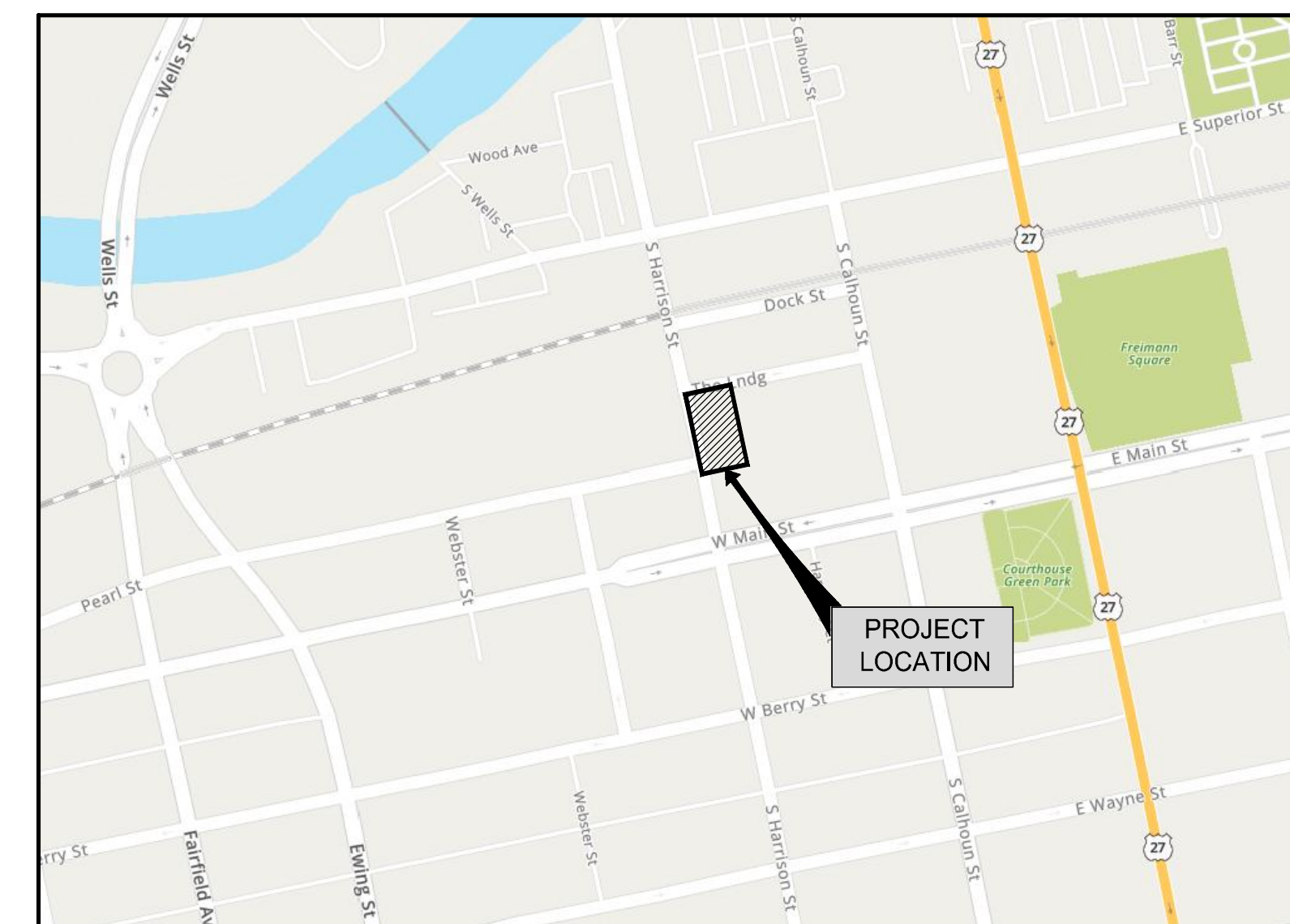
BUILDING INFORMATION	
PROPOSED BUILDING S.F.	7,940 SF
PROPOSED BUILDING HEIGHT	42'-8" HT.

LOT INFORMATION	
ZONING	DOWNTOWN CORE (DC)
CURRENT USE	COMMERCIAL
PROPOSED USE	COMMERCIAL / MULTI-FAMILY RESIDENTIAL

FLOOD INSURANCE RATE MAP (FIRM):	
ALLEN COUNTY, INDIANA AND INCORPORATED AREAS	
FIRM MAP NUMBER: 18003C0284G	
PANELS 284 OF 495	
DATED AUGUST 3, 2009	
FLOODWAY AREAS IN ZONE X "OTHER AREAS"	

PARKING SUMMARY		
TOTAL PARKING REQUIRED FOR DC ZONING DISTRICT	EXISTING PARKING COUNT	PROPOSED PARKING COUNT
0 SPACES	4 SPACES	0 SPACES

OWNER	
MODEL GROUP 1826 RACE STREET CINCINNATI, OH 45202 PH: (513) 559-5896 FAX: (513) 559-0048	
CONTACT: JASON CHAMLEE EMAIL: jchamlee@modelgroup.net	
ARCHITECT	
DESIGN COLLABORATIVE 200 E. MAIN ST., SUITE 600, FORT WAYNE, IN 46802 PH: (260) 422-4241 FAX: (260) 422-4847 CONTACT: RACHEL VEDDER EMAIL: rvedder@designcollaborative.com	
ENGINEER	
ENGINEERING RESOURCES, INC. 4175 NEW VISION DRIVE FORT WAYNE, IN 46845 PH: (260) 490-1025 FAX: (260) 490-1026 CONTACT: MARK REINHARD EMAIL: mark@eri.consulting	
SURVEYOR	
GOULOFF-JORDAN SURVEYING AND DESIGN, INC. 1133 BROADWAY FORT WAYNE, IN 46802 PH: (260) 424-5362 FAX: (260) 424-4916 CONTACT: TODD JORDAN EMAIL: todd@gouloffjordan.com	



LOCATION MAP
 SCALE: NOT TO SCALE

PROPOSED LEGEND:

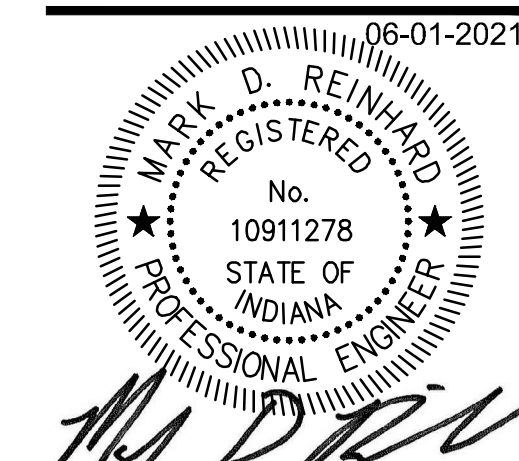
- ○ STORM INLET / MANHOLE
- ST GREASE TRAP
- ○ SANITARY MANHOLE
- ○ CONTROL MANHOLE
- △ GATE VALVE
- PIV VALVE
- STORM SEWER
- SA SANITARY SEWER
- WA WATER LINE
- UE UNDERGROUND ELECTRIC
- COMM COMMUNICATION LINE

LAYOUT LEGEND:

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT AND SIDEWALK



MODEL GROUP
COLUMBIA STREET WEST
 RENOVATION AND NEW CONSTRUCTION
 W Columbia Street & S Harrison Street
 Fort Wayne, IN 46802
 PROJECT: 2020.0136



All concepts, ideas, designs, plans and details as shown on this document are the sole property of Design Collaborative, Inc. and shall not be used for any purpose without their expressed written consent. The owner shall be permitted to retain copies for information and reference.

CUSTOM PHASE		
ISSUE DATE: 06.01.2021		
REVISIONS		
NO.	DATE	DESCRIPTION

PRIMARY DEVELOPMENT PLAN

PD1.0

NOT FOR CONSTRUCTION

All concepts, ideas, designs, plans and details as shown on this document are the sole property of Design Collaborative, Inc. and shall not be used for any purpose without their expressed written consent. The owner shall be permitted to retain copies for information and reference.

DESIGN DEVELOPMENT

ISSUE DATE: 05/18/2021

REVISIONS

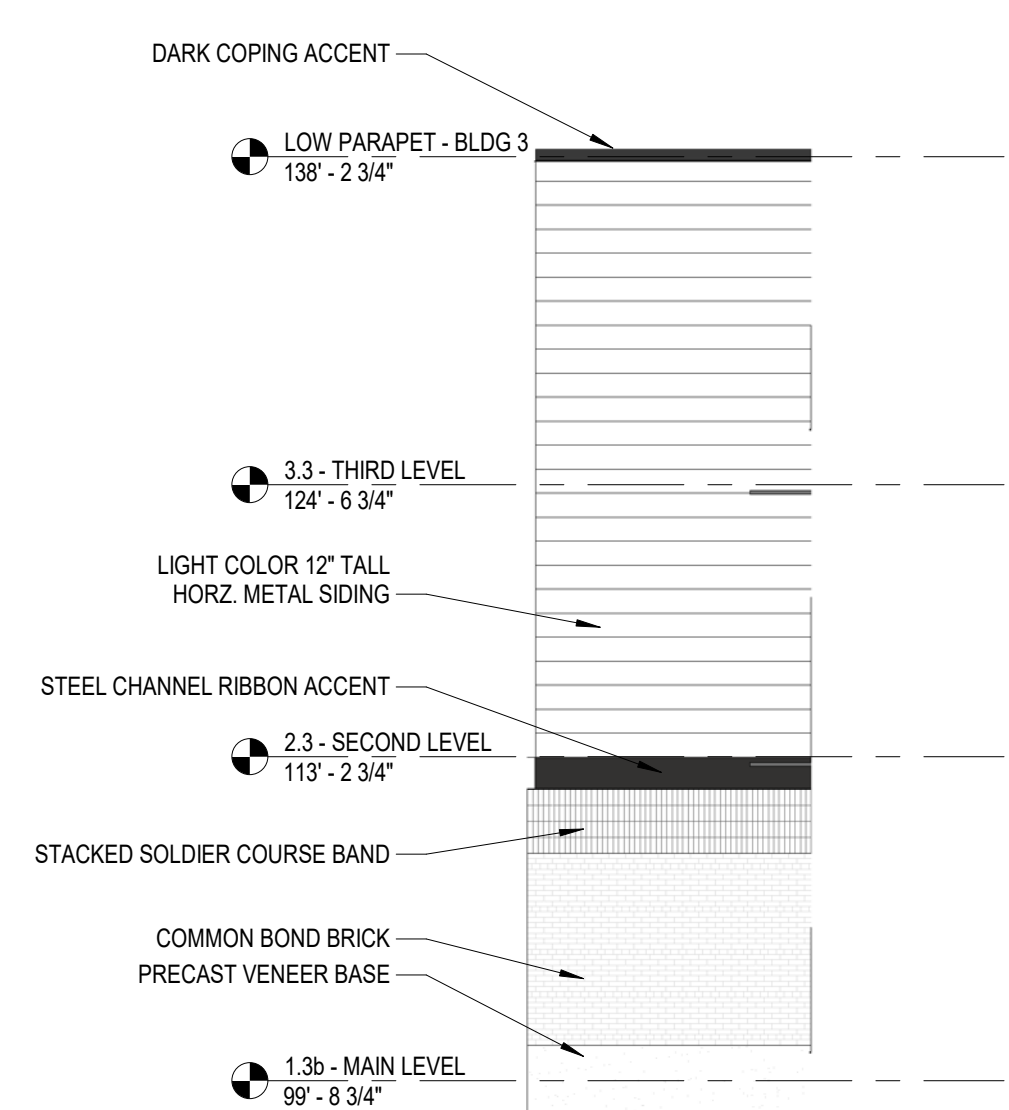
NO.	DATE	DESCRIPTION

BUILDING 3 - EXTERIOR ELEVATIONS

A4.3



3 EXTERIOR ELEVATION - WEST - NEW BUILDING 3
 SCALE: 1/8" = 1'-0"



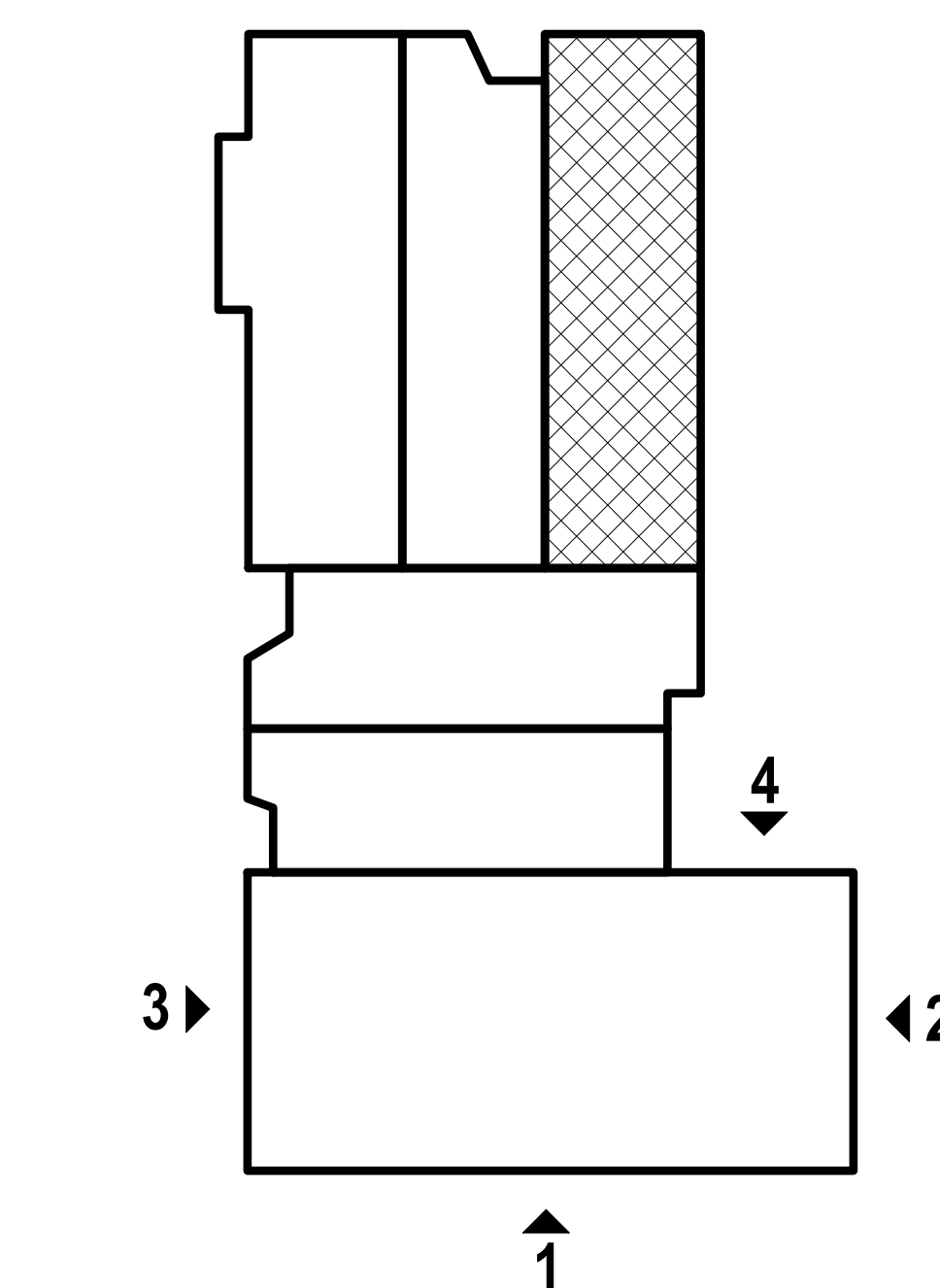
4 EXTERIOR ELEVATION - NORTH - NEW BUILDING 3
 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST - NEW BUILDING 3
 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH - NEW BUILDING 3
 SCALE: 1/8" = 1'-0"

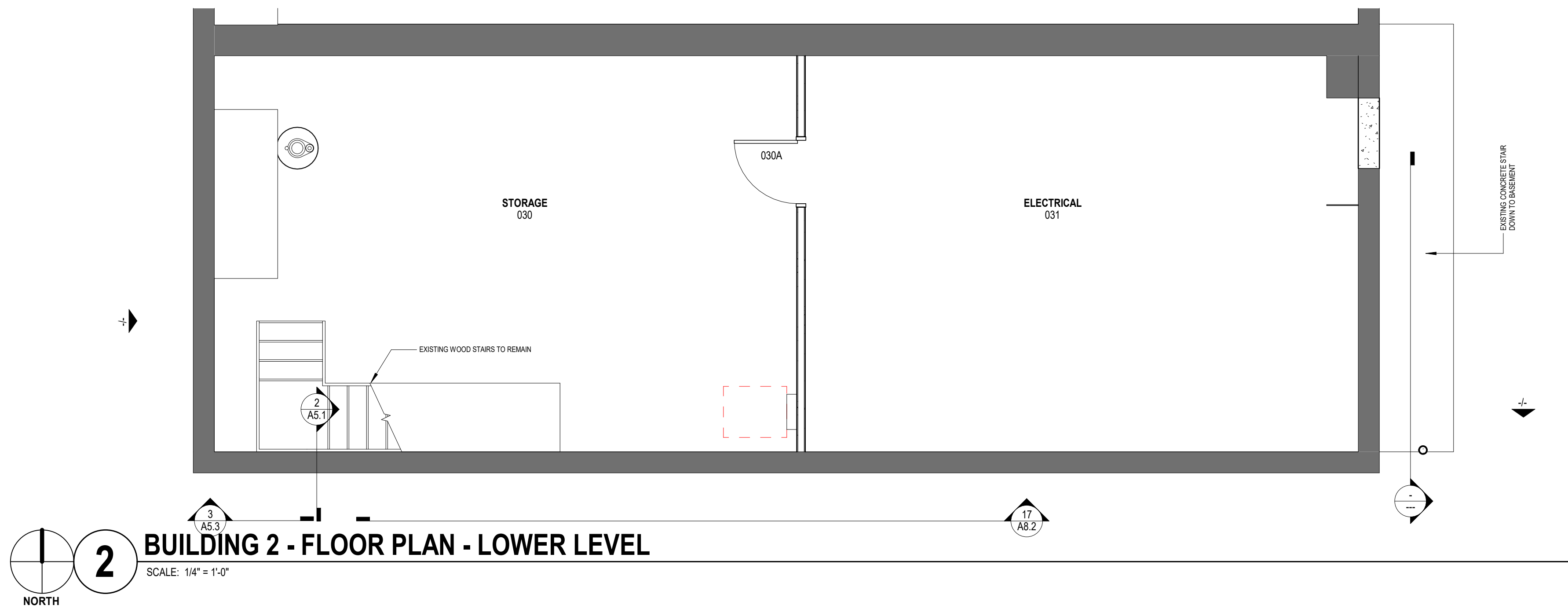


LEVEL LEGEND NOTES:

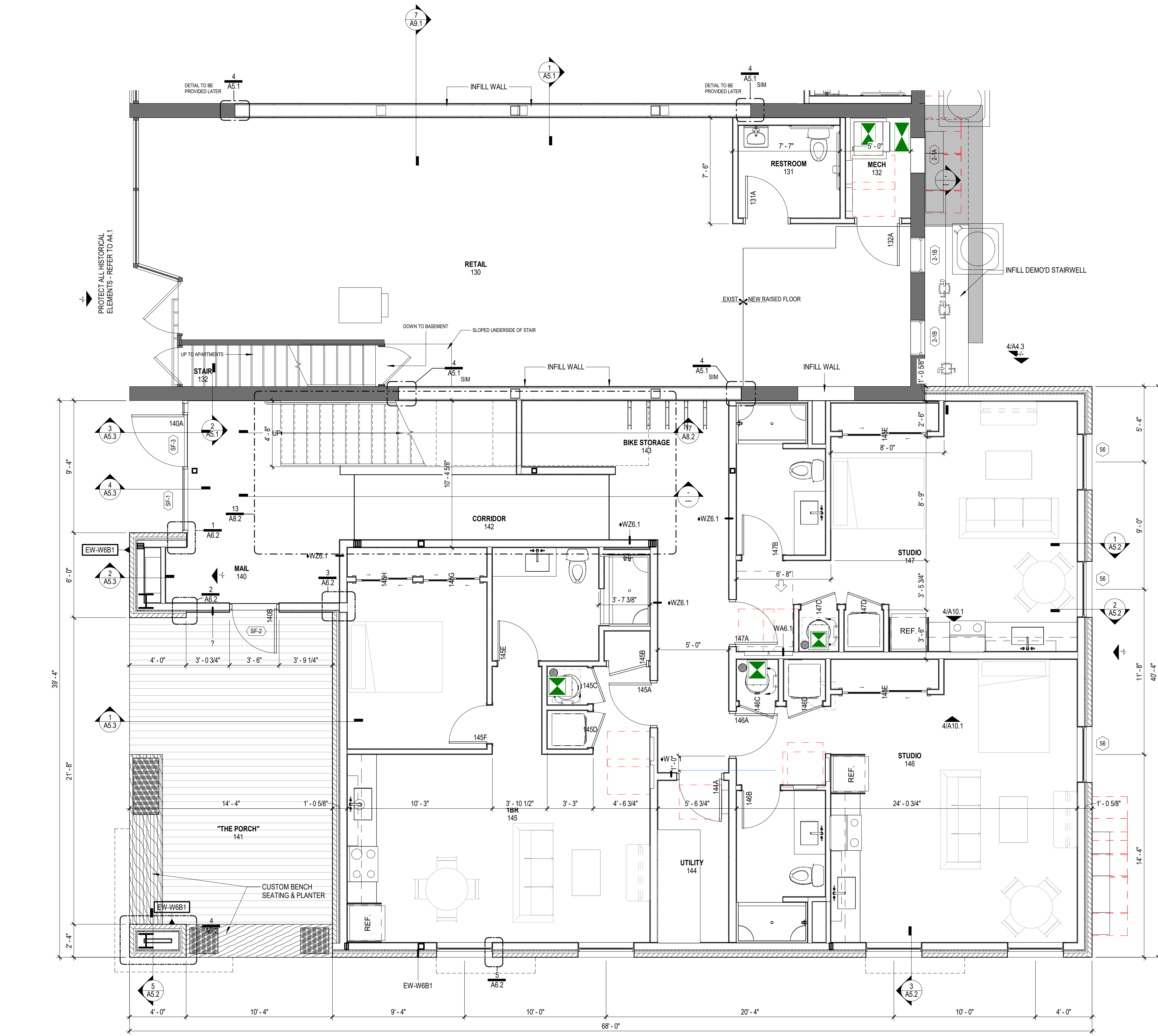
LEVEL	BUILDING NUMBER
0 - LOWER LEVEL	BUILDING 1
1 - MAIN LEVEL	BUILDING 2
2 - SECOND LEVEL	BUILDING 3
3 - THIRD LEVEL	BUILDING 3

1.1A - VARIATIONS

5/27/2021 3:56:22 PM



2 BUILDING 2 - FLOOR PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"



1 BUILDING 2 & 3 - FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

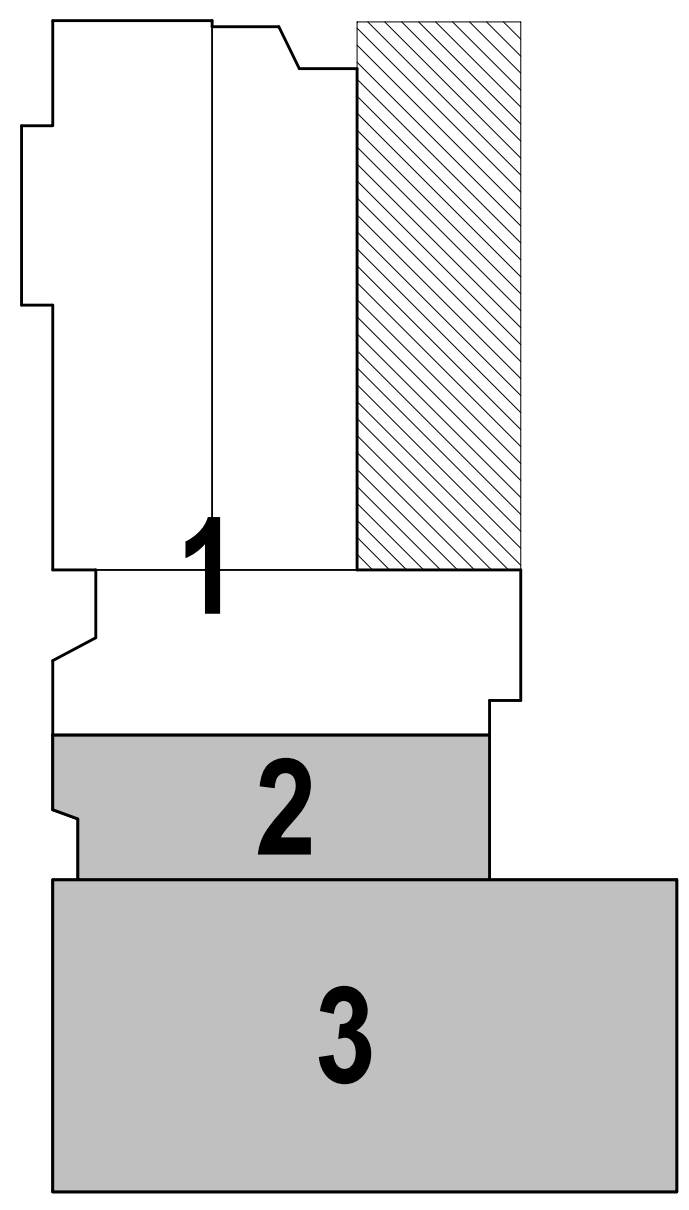
- GENERAL CONSTRUCTION NOTES**
- REFER TO GENERAL INFORMATION SHEET G0.2 FOR SYMBOLS, LEGENDS AND ABBREVIATIONS.
 - CONTRACTORS INSTALLED WORK IS TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND THE AMERICANS WITH DISABILITY ACT.
 - CONTRACTORS ARE TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO COMPLETE THE PROJECT.
 - CONTRACTORS SHALL FULLY REVIEW ALL PROJECT DOCUMENTS AND PROVIDE ALL INFORMATION AS REQUIRED FOR SUBMITTALS. CONTRACTORS ARE RESPONSIBLE TO REVIEW THE FULL EXTENT OF THE WORK PRIOR TO EXECUTION OF THE BIDS. DO NOT SCALE THE DRAWINGS. PLEASE FORWARD ALL QUESTIONS REGARDING CLARIFICATION OF DIMENSIONS TO THE ARCHITECT/ENGINEER FOR IMMEDIATE RESOLUTION.
 - NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO SHOP DRAWING PREPARATION, MATERIAL FABRICATION AND/OR INSTALLATION OF WORK.
 - CONTRACTOR SHALL INCLUDE A SIGNED AUTHORIZATION WITH ALL MATERIAL AND EQUIPMENT SHOP DRAWING SUBMITTALS INDICATING THAT FIELD DIMENSIONS WERE OBTAINED AND ARE ACCURATE TO THE BEST OF THEIR KNOWLEDGE.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS RELATIVE TO THE PROJECT PRIOR TO MATERIAL FABRICATION & INSTALLATION. CONFLICTS, OMISSIONS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IMMEDIATELY FOR RESOLUTION AND PRIOR TO PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE EQUIPMENT MANUFACTURER TO ENSURE APPROPRIATE WALL BLOCKING REQUIREMENTS FOR SUPPORT OF THE EQUIPMENT AND ROUGH IN CLEARANCE REQUIREMENTS FOR EQUIPMENT INSTALLATION AND USE.
 - CONTRACTOR TO LAY OUT AND MARK ALL WALLS AND OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
 - DETAILS AND NOTES ON THESE PAGES MAY BE GENERALIZED AND SHALL SERVE TO ADD THE CONTRACTOR IN EVALUATION OF THIS WORK AS REQUIRED FOR NEW CONSTRUCTION, BUT DRAWINGS SHALL NOT BE HELD TO BE ALL INCLUSIVE. CONTRACTOR TO PERFORM FIELD ALTERATIONS, PATCHING AND PREPARATION FOR ALL NEW WORK AS REQUIRED WHETHER OR NOT IT IS SPECIFICALLY NOTED IN THESE DRAWINGS. CONSULT WITH PRODUCT MANUFACTURER FOR ALL THEIR REQUIREMENTS OF INSTALLATION.
 - IT IS PREFERRED THAT ALL CONTRACTORS UTILIZE THE SAME FIRESTOPPING CONTRACTOR FOR THE FIRESTOPPING SCOPE OF WORK. SEE THE FIRESTOPPING NOTES ON THE LIFE SAFETY PLAN FOR MORE INFORMATION.

PLAN CONSTRUCTION KEYNOTES

NOT FOR CONSTRUCTION

All concepts, ideas, designs, plans and details are shown on this document are the sole property of Design Collaborative, Inc. and shall not be used for any purpose without their expressed written consent. The owner shall be permitted to retain copies for information and reference.

DESIGN DEVELOPMENT		
ISSUE DATE: 05/18/2021		
REVISIONS		
NO.	DATE	DESCRIPTION

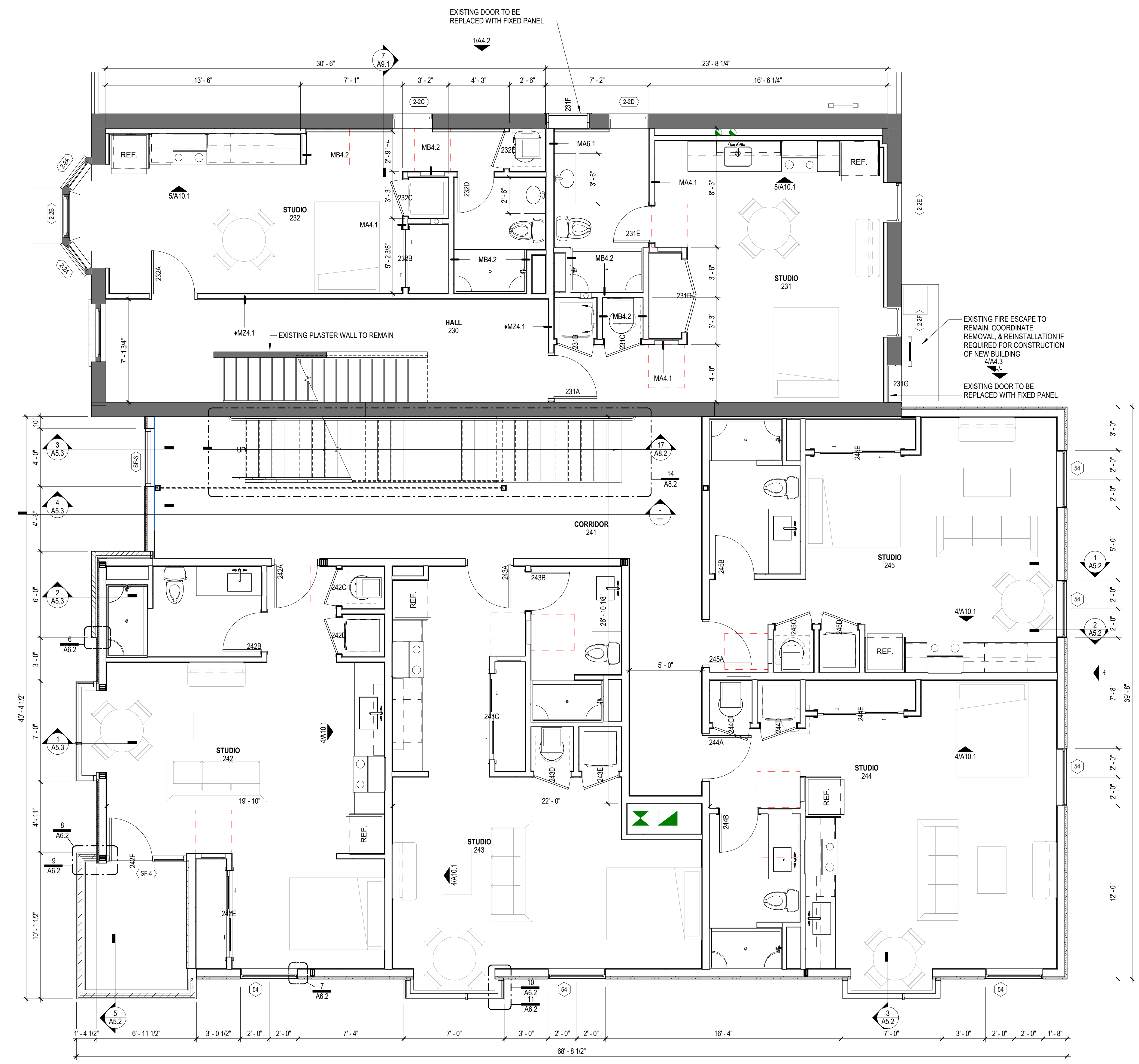


KEY PLAN
SCALE: NONE

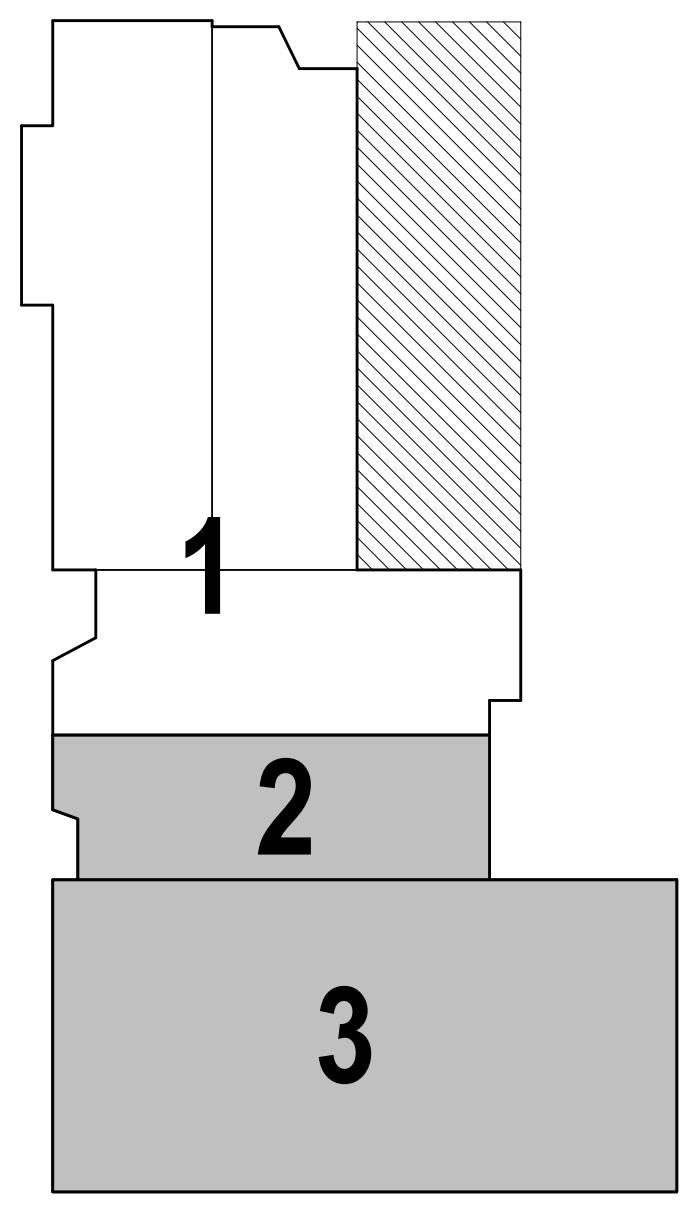
5/27/2021 3:59:16 PM

GENERAL CONSTRUCTION NOTES	
1.	REFER TO GENERAL INFORMATION SHEET G02 FOR SYMBOLS LEGENDS AND ABBREVIATIONS.
2.	CONTRACTORS INSTALLED WORK IS TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND THE AMERICANS WITH DISABILITY ACT.
3.	CONTRACTORS ARE TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO COMPLETE THE PROJECT.
4.	CONTRACTORS SHALL FULLY REVIEW ALL PROJECT DOCUMENTS AND PROVIDE ALL INFORMATION AS REQUIRED FOR SUBMITTALS. CONTRACTORS ARE RESPONSIBLE TO REVIEW THE FULL EXTENT OF THE WORK PRIOR TO EXECUTION OF THE BIDS. DO NOT SCALE THE DRAWINGS. PLEASE FORWARD ALL QUESTIONS REGARDING CLARIFICATION OF DIMENSIONS TO THE ARCHITECT/ENGINEER FOR IMMEDIATE RESOLUTION.
5.	NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO SHOP DRAWING PREPARATION, MATERIAL FABRICATION AND/OR INSTALLATION OF WORK.
6.	CONTRACTOR SHALL INCLUDE A SIGNED AUTHORIZATION WITH ALL MATERIAL AND EQUIPMENT SHOP DRAWING SUBMITTALS INDICATING THAT FIELD DIMENSIONS WERE OBTAINED AND ARE ACCURATE TO THE BEST OF THEIR KNOWLEDGE.
7.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS RELATIVE TO THE PROJECT PRIOR TO MATERIAL FABRICATION & INSTALLATION. CONFLICTS, OMISSIONS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IMMEDIATELY FOR RESOLUTION AND PRIOR TO PROCEEDING WITH THE WORK.
8.	CONTRACTOR SHALL COORDINATE ALL WORK WITH THE EQUIPMENT MANUFACTURER TO ENSURE APPROPRIATE WALL BLOCKING REQUIREMENTS FOR SUPPORT OF THE EQUIPMENT AND ROUGH IN CLEARANCE REQUIREMENTS FOR EQUIPMENT INSTALLATION AND USE.
9.	CONTRACTOR TO LAY OUT AND MARK ALL WALLS AND OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
10.	DETAILS AND NOTES ON THESE PAGES MAY BE GENERALIZED AND SHALL SERVE TO ADD THE CONTRACTOR IN EVALUATION OF THIS WORK AS REQUIRED FOR NEW CONSTRUCTION, BUT DRAWINGS SHALL NOT BE HELD TO BE ALL INCLUSIVE. CONTRACTOR TO PERFORM FIELD ALTERATIONS, PATCHING AND PREPARATION FOR ALL NEW WORK AS REQUIRED WHETHER OR NOT IT IS SPECIFICALLY NOTED IN THESE DRAWINGS. CONSULT WITH PRODUCT MANUFACTURER FOR ALL THEIR REQUIREMENTS OF INSTALLATION.
11.	IT IS PREFERRED THAT ALL CONTRACTORS UTILIZE THE SAME FIRESTOPPING CONTRACTOR FOR THE FIRESTOPPING SCOPE OF WORK. SEE THE FIRESTOPPING NOTES ON THE LIFE SAFETY PLAN FOR MORE INFORMATION.
12.	

PLAN CONSTRUCTION KEYNOTES



1 BUILDING 2 & 3 - FLOOR PLAN - SECOND LEVEL
 SCALE: 1/4" = 1'-0"



KEY PLAN
 SCALE: NONE

MODEL GROUP
COLUMBIA STREET WEST
 RENOVATION AND NEW CONSTRUCTION
 W Columbia Street & S Harrison Street
 Fort Wayne, IN 46802
 PROJECT: 2020.0195

NOT FOR CONSTRUCTION

All concepts, ideas, designs, plans and details as shown on this document are the sole property of Design Collaborative, Inc. and shall not be used for any purpose without their expressed written consent. The owner shall be permitted to retain copies for information and reference.

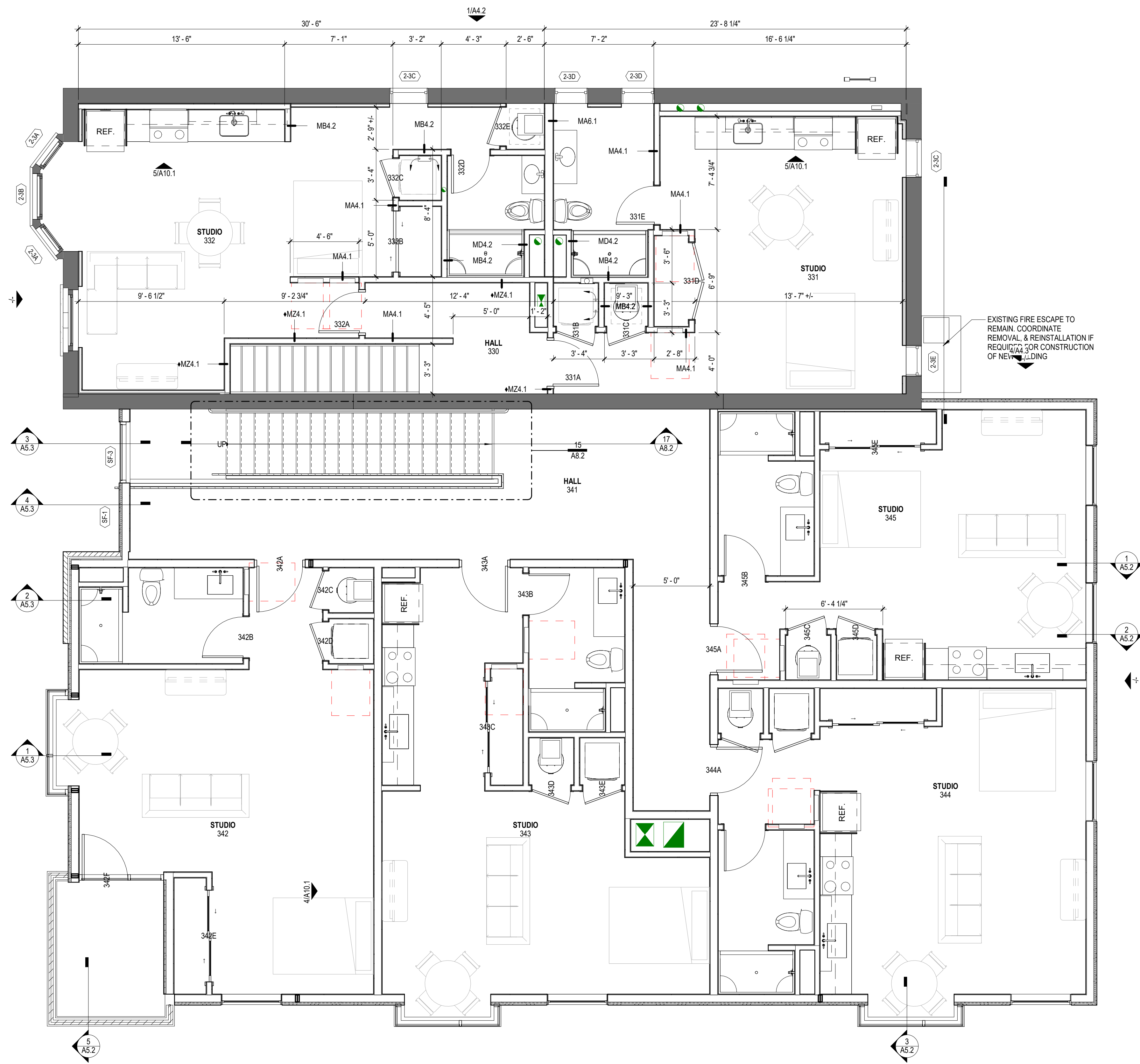
DESIGN DEVELOPMENT		
ISSUE DATE: 05/18/2021		
REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING 2 & 3 - FLOOR PLAN - SECOND LEVEL

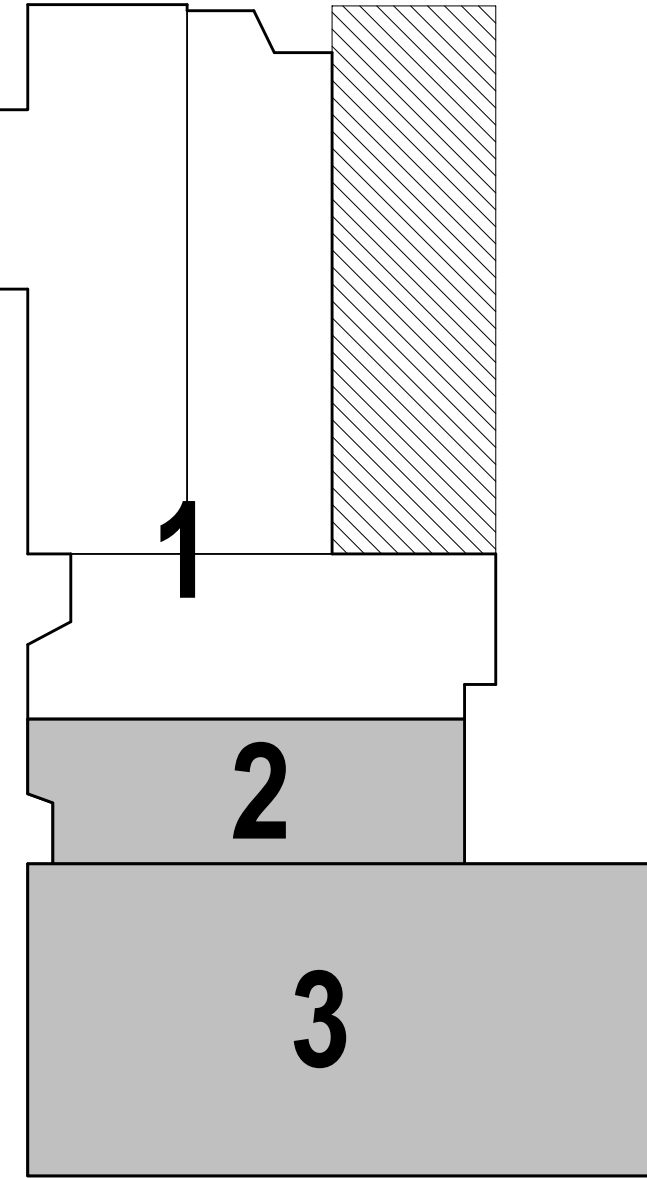
A1.22

- GENERAL CONSTRUCTION NOTES**
- REFER TO GENERAL INFORMATION SHEET G0.2 FOR SYMBOLS, LEGENDS AND ABBREVIATIONS.
 - CONTRACTORS INSTALLED WORK IS TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND THE AMERICANS WITH DISABILITY ACT.
 - CONTRACTORS ARE TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO COMPLETE THE PROJECT.
 - CONTRACTORS SHALL FULLY REVIEW ALL PROJECT DOCUMENTS AND PROVIDE ALL INFORMATION AS REQUIRED FOR SUBMITTALS. CONTRACTORS ARE RESPONSIBLE TO REVIEW THE FULL EXTENT OF THE WORK PRIOR TO EXECUTION OF THE BIDS. DO NOT SCALE THE DRAWINGS. PLEASE FORWARD ALL QUESTIONS REGARDING CLARIFICATION OF DIMENSIONS TO THE ARCHITECT/ENGINEER FOR IMMEDIATE RESOLUTION.
 - NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO SHOP DRAWING PREPARATION, MATERIAL FABRICATION AND/OR INSTALLATION OF WORK.
 - CONTRACTOR SHALL INCLUDE A SIGNED AUTHORIZATION WITH ALL MATERIAL AND EQUIPMENT SHOP DRAWING SUBMITTALS INDICATING THAT FIELD DIMENSIONS WERE OBTAINED AND ARE ACCURATE TO THE BEST OF THEIR KNOWLEDGE.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS RELATIVE TO THE PROJECT PRIOR TO MATERIAL FABRICATION & INSTALLATION. CONFLICTS, OMISSIONS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IMMEDIATELY FOR RESOLUTION AND PRIOR TO PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE EQUIPMENT MANUFACTURER TO ENSURE APPROPRIATE WALL BLOCKING REQUIREMENTS FOR SUPPORT OF THE EQUIPMENT AND ROUGH IN CLEARANCE REQUIREMENTS FOR EQUIPMENT INSTALLATION AND USE.
 - CONTRACTOR TO LAY OUT AND MARK ALL WALLS AND OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
 - DETAILS AND NOTES ON THESE PAGES MAY BE GENERALIZED AND SHALL SERVE TO AD THE CONTRACTOR IN EVALUATION OF THIS WORK AS REQUIRED FOR NEW CONSTRUCTION, BUT DRAWINGS SHALL NOT BE HELD TO BE ALL INCLUSIVE. CONTRACTOR TO PERFORM FIELD ALTERATIONS, PATCHING AND PREPARATION FOR ALL NEW WORK AS REQUIRED WHETHER OR NOT IT IS SPECIFICALLY NOTED IN THESE DRAWINGS. CONSULT WITH PRODUCT MANUFACTURER FOR ALL THEIR REQUIREMENTS OF INSTALLATION.
 - IT IS PREFERRED THAT ALL CONTRACTORS UTILIZE THE SAME FIRESTOPPING CONTRACTOR FOR THE FIRESTOPPING SCOPE OF WORK. SEE THE FIRESTOPPING NOTES ON THE LIFE SAFETY PLAN FOR MORE INFORMATION.

PLAN CONSTRUCTION KEYNOTES



1 BUILDING 2 & 3 - FLOOR PLAN - THIRD LEVEL
 SCALE: 1/4" = 1'-0"



KEY PLAN
 SCALE: NONE

NOT FOR CONSTRUCTION

All concepts, ideas, designs, plans and details are shown on this document are the sole property of Design Collaborative, Inc. and shall not be used for any purpose without their expressed written consent. The owner shall be permitted to retain copies for information and reference.

DESIGN DEVELOPMENT		
ISSUE DATE: 05/18/2021		
REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		

CSW I, LLC Property (Doc. 2020078676)

Parcel I:

Lots 1, 2, and 4 of the Subdivision of Lot 564, Hanna's Addition to the City of Fort Wayne according to the plat thereof, recorded in Deed Record 31, page 441, recorded in the Office of the Recorder of Allen County, Indiana.

Parcel II:

Lot Number 5 in the Subdivision of Lot 564 Hanna's Addition to the City of Fort Wayne, according to the plat thereof, recorded in Deed Record 31, page 441, in the Office of the Recorder of Allen County, Indiana.

Parcel III:

Lot Number 6 and the West 6 feet of Lot Number 7 in the Subdivision of Lot 564 Hanna's Addition to the City of Fort Wayne, according to the plat thereof, recorded in Deed Record 31, page 441, in the Office of the Recorder of Allen County, Indiana.

Parcel IV:

Subdivision Number 7 of Lot Numbered 564 in Hanna's Addition to the City of Fort Wayne, except the West 6.0 feet thereof, according to the plat thereof, recorded in Deed Record 31, page 441, in the Office of the Recorder of Allen County, Indiana.

LANDING I, LLC Property (Doc. 2018007608)

Parcel II:

Commencing at a point ninety (90) feet West of the Southwest corner of Lot Forty-Nine (49) of the Original Plat of the City of Fort Wayne, Allen County, Indiana; thence West on a line parallel to the south line of Columbia Street forty (40) feet; thence north one hundred and fifty (150) feet parallel to the West line of said Lot forty-nine (49); thence east along Columbia Street forty (40) feet; thence south one hundred and fifty (150) feet to the place of beginning.

NOTES:

ALL BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM (NAD83)(2011), INDIANA EAST ZONE AS DERIVED UTILIZING THE INDOT INCORS NETWORK.

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM UTILITY COMPANIES AT TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

ALL BOUNDARY INFORMATION AS SHOWN HEREON WAS ESTABLISHED BY PRIOR SURVEYS BY GOULOFF-JORDAN.

FIELD WORK FOR THIS SURVEY WAS PERFORMED ON JANUARY 11-13, 2021.

CERTIFICATION:

I, TIMOTHY C. GOULOFF, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF INDIANA, AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND ACCURATE TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF.

CERTIFIED THIS 13th DAY OF JANUARY, 2021.

Timothy C. Gouloff
TIMOTHY C. GOULOFF, L.S. (29500017)



LEGEND		
	UTILITY POLE	COMM — UNDERGROUND COMMUNICATIONS
	LIGHT POLE	GAS — UNDERGROUND GAS LINE
	LIGHT BOLLARD	WATER — UNDERGROUND WATER LINE
	UTILITY PEDESTAL	OHU — OVERHEAD UTILITY LINE(S)
	FIRE HYDRANT	ELEC — UNDERGROUND ELECTRIC LINE
	WATER VALVE	COMBO — COMBINATION SEWER
	MEASURED	SANTARY — SANTARY SEWER
	RECORDED	STORM — STORM SEWER
	CALCULATED	
	FFE	

REVISIONS		
REV. NO.	DATE	DESCRIPTION

Topographic Survey
Real estate located in the City of Fort Wayne
Wayne Township, Allen County, IN
Property Address: 135 W. Columbia Street, Fort Wayne, IN 46802

GOULOFF - JORDAN
SURVEYING AND DESIGN, INC.
1133 BROADWAY FORT WAYNE, IN 46802
PH (260) 424-5362 FAX (260) 424-4916

Performed for:
Design Collaborative

DATE: January 13, 2021	PROJECT NUMBER 20190490
Scale: 1" = 20'	DRAWING NUMBER 20190490(TOPOGRAPHY)
DRAWN TMJ	CHK'D TCG
Sheet: 1 of 1	

